

WHAT
CAN
UDO



Unified Development Ordinance



City of Charlotte Sign Regulations Update

Adopted & Effective as of October 21, 2019

New Sign Regulations – Why Now?



- Sign regulations largely unchanged since adopted in 1992
- Recent Supreme Court ruling impacting use of regulations referring to sign copy/content
- Opportunity to incorporate new sign approach used in Transit Oriented Development (TOD) zoning districts and to move forward with Unified Development Ordinance (UDO)

New Sign Regulations - Approach



- New regulations provide consistency in standards, are easier to understand, contain more graphics, and bring sign regulations into one location
- New standards for size, materials, location, lighting, portability and quantity of signs
- No significant changes for Outdoor Advertising (billboards)

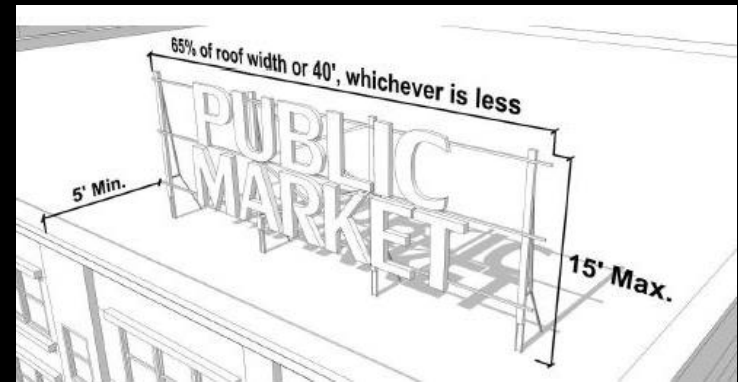
Impactful Changes

- Allowances and standards for several **new sign types**:
 - A-frame sign, accessory use sign, light pole banner, multi-use planned development ground sign, roof sign, skyline sign, temporary outdoor sales sign (incl. mobile food vendors), and vehicle dealership temporary sign*
 - Two (2) **new wall sign subtypes** – painted wall sign & projected wall sign
- Standards are **content-neutral** - Allows noncommercial messages where commercial messages allowed

* Please contact City of Charlotte for information on which signs do and do not require a permit.



A-Frame Sign



Roof Sign



Skyline Sign

Impactful Changes

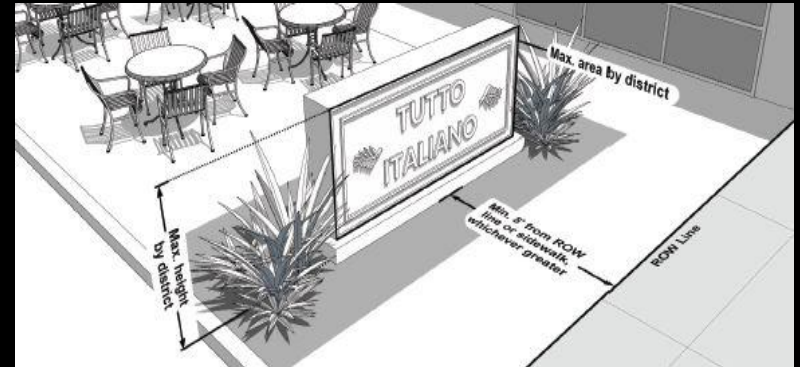


New allowances and standards for Painted Wall Signs, separate from Regular Wall Signs

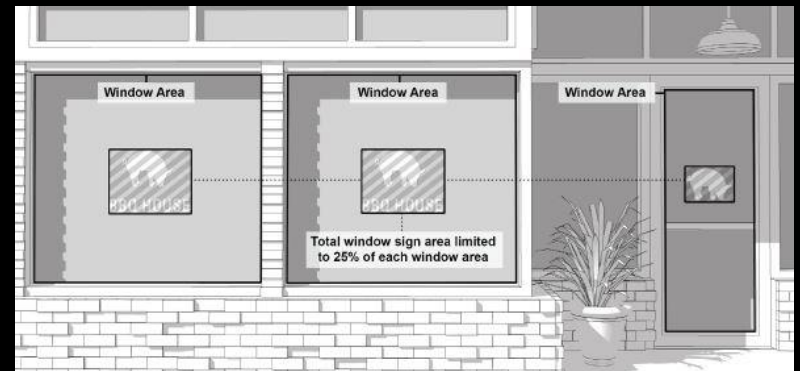
- Re: **wall signs** – Uniform standard of 10% of wall surface area up to 300 sf, whichever is less, across all zoning districts (50% - 200% increase, depending on zoning district)
 - Two new wall sign subtypes, painted and projected wall sign
 - BOTH require a sign permit
 - Neither counts against above wall sign area limitation
 - Size of either limited only by wall surface where applied

Impactful Changes

- Re: **ground signs** – Universal maximum height of 7'; Maximum sign area is either 36 or 42 square feet
 - Must be of monument-type construction
 - Unless in B-2, I-1 or I-2 Districts, where a pole/pylon sign up to 30' maximum height still allowed
 - This does not apply if any of these districts also has an urban zoning overlay (e.g. PED, TS)
- Re: **window signs** – Coverage of window surface area reduced from 50% to 25%, but mullions are no longer used to separate window surfaces

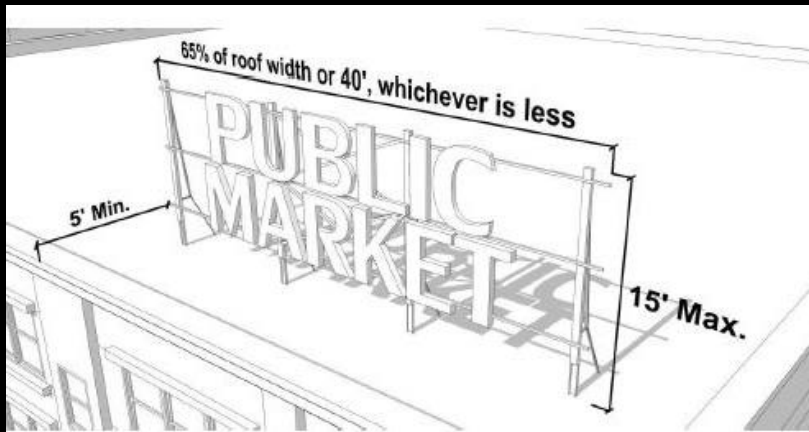


Ground Sign



Window Sign

Impactful Changes



Roof Sign



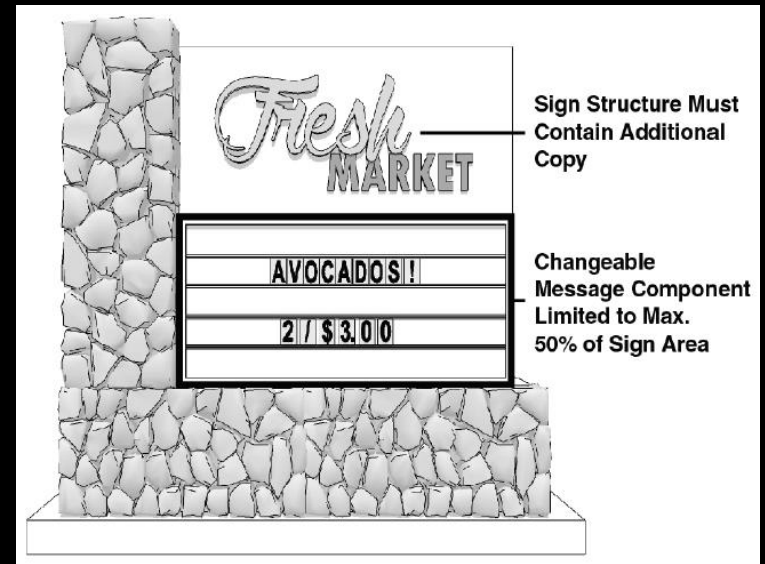
Skyline Sign

An eligible building may have EITHER a roof sign OR a skyline sign, NOT BOTH

- Re: **roof signs** – See graphic at left
 - Building must be at least 30' in height; Only permitted on flat roofs
 - Only one per building; Overall area must be 40% transparent
 - Only internally illuminated
- Re: **skyline signs** – See graphic at left
 - Building must be at least 80' in height
 - One sign per façade permitted
 - Only internally illuminated

Impactful Changes

- Re: **changeable messages**
 - Changeable message component of sign increased to 50% of total sign area, up from 25% (100% increase)
- Re: **electronic changeable messages**
 - Messages / images may now change after remaining static for at least eight (8) seconds
 - Change **MUST** be instantaneous – No transition effects
 - This is a reduction from the two (2) minute policy established in 2012 and the 30 second policy established in January 2019*



Changeable Message Sign

* See City of Charlotte Zoning Interpretation # ZIR-024 for background information.

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Questions?

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